

West Hyattsville



PARKING STANDARDS

GENERAL DESIGN PRINCIPLES AND INTENT

Intent

To provide on-street parking and off-street surface/structured parking facilities that enhance pedestrian/motorist safety; reduce glare and sky glow on the surrounding neighborhoods; provide adequate lighting; shield lamp brightness; and improve motorist/pedestrian visibility within the built environment.

1. **Ratios for Uses:** Off-street parking shall be provided for all new development within the West Hyattsville TDOZ in accordance with the standards provided in Parking Ratios for Land Uses Within the West Hyattsville Transit District Overlay Zone.
2. **Accessibility:** All on-street parking and off-street surface/structured parking facilities shall comply with ADA standards and shall be accessible and barrier free. Off-street parking areas shall not exceed two percent cross slopes in any direction for accessible parking spaces in accordance with ADA standards. All other surface parking areas shall not exceed three percent maximum cross slope. Parking areas shall not be accessed via steps from adjoining walkways.
3. **Pedestrian Access to Off-Street Parking:**
 - a. **Surface Parking—**
 - Pedestrian walkways through parking areas shall be prohibited.
 - Perimeter walkways along the edge of parking areas shall not exceed 2 percent cross slope and shall be illuminated at exactly 2.0 foot-candles for ADA accessibility compliance.

b. **Parking Structures**—

Parking structures shall provide pedestrian access to surrounding main buildings and shall provide safe (exactly 2.0 foot-candle illumination), direct (maximum than 100 foot), accessible (maximum 2 percent slopes), barrier-free (no steps) pathways.

4. **Construction:** Construction of on-street parking and off-street surface/structured parking facilities shall be completed for any approved development prior to the issuance of use and occupancy permits for the first building.

5. **Parking Landscaping:** Landscaping shall be provided for surface parking and parking structures as follows:

a. **On-Street Parking**—

- Landscaping shall be provided adjacent to on-street parking areas per the West Hyattsville TDDP conceptual site plan.
- Tree pit areas shall be a minimum of five feet wide and five feet deep. Tree grates shall be a minimum of four feet wide and four feet deep. Tree pits and tree grates shall place the center of the tree a minimum of 2.5 feet from the face of curb for protection from open car doors.

b. **Off-Street Surface Parking**—

- Parking perimeters shall screen views of cars from the public realm with both a three-foot high solid masonry wall and evergreen shrub landscaping.
- Evergreen shrubs shall be planted at the rate of three shrubs per every ten linear feet of perimeter parking area.
- Landscaped parking islands shall be provided as a break in parking areas for every 20 cars, dimensioned at a minimum of 10 inches wide and minimum 20 feet in length, planted with a 2.5-inch caliper shade tree, and shall provide ground cover or shrubs within the island.

- Landscaped parking islands located adjacent to ADA accessible parking spaces shall provide a 2.5-inch caliper tree and a mulch surface ground for accessible access.
- Tree pit beds shall be provided at a minimum of five feet in width and five feet in depth, with the center of the tree planted a minimum of 2.5 feet from the face of curb for protection from open car doors.

c. **Off-Street Parking Structures**—

- Landscaping shall be provided along parking structure foundation façades that front the public realm.
- Landscaping shall be provided at the rate of one tree (2.5-inch caliper) and three shrubs (24-inch height) per ten linear feet of parking façade.
- Planting beds shall be a minimum 5 feet in width and a minimum of 5 feet in depth.

6. **Parking Lighting:** Lighting shall be provided for surface parking and parking structures as follows:

a. **On-Street Parking and Off-Street Surface Parking**—

- Full cut-off lighting
- Pedestrian light fixtures similar or equal to those shown in the West Hyattsville TDDP conceptual site plan.
- Street lights shall be a minimum 14 feet and a maximum 16 feet in height for on-street parking areas, and shall be a maximum of 20 feet in height for surface parking areas.
- Illumination shall be a minimum of 1.25 foot-candles and a maximum of 2.0 foot-candles.

b. ***Off-Street Parking Structure***—

- Full cut-off lighting for exteriors façades.
- Pedestrian light fixtures similar or equal to the Elliptipar parking structure lighting standards shown in the West Hyattsville TDDP conceptual site plan.
- Illumination shall be a minimum of 2.0 foot-candles at entrances/exits and a maximum of 5.0 foot-candles.

ON-STREET PARKING

Intent

To regulate the design and location of on-street parking to provide convenient access to adjoining uses without compromising pedestrian/motorist safety and the quality of the streetscape environment.

1. **Materials:** On-street parking areas shall be coordinated with the Department of Public Works and Transportation (DPW&T) and/or State Highway Administration (SHA) as appropriate.
2. **Configurations and Techniques**
 - a. ***Permitted Development Blocks for On-Street Parking:*** On-street parking areas shall be permitted in all development blocks except NN and OO.
 - b. ***Siting:*** On-street parking shall be located in accordance with the West Hyattsville TDDP streetscape sections. Restricted (non-rush hour) on-street parking may be permitted on primary streets within the TDOZ subject to an executed memorandum of understanding (MOU) between the City of Hyattsville, DPW&T, and the State Highway Administration (SHA) as appropriate.

*See Map 11: West Hyattsville TDDP/TDOZ
Parking Plan*

*See Building Envelope and Block Standards for
Streetscape Section Specifications*

OFF-STREET PARKING

Intent

To regulate the location, siting, and design of off-street parking to provide convenient access to adjoining uses without compromising pedestrian/motorist safety and the quality of the built environment within the West Hyattsville TDOZ.

Materials:

The following is a list of permitted and prohibited materials.

Permitted:

- Brick and tile masonry
- Native Stone (or synthetic equivalent)
- Precast masonry (for trim and cornice elements only)
- Gypsum Reinforced Fiber Concrete (for trim elements only)
- Metal (for beams, lintels, trim elements and ornamentation only)
- Wood lap siding (horizontal configuration), smooth or rough-sawn finish
- Hardie-Plank equivalent or better siding

Prohibited:

- Stucco/EIFS (cementitious finish)
- Split-faced block
- Concrete (except for parking deck surface)
- Concrete Masonry Units
- Faux wood grain

Configurations and Techniques:

1. **Siting:** Off-street parking facilities (surface lots and parking structures) shall be located in accordance with the West Hyattsville TDDP/TDOZ parking plan. Surface parking areas shall be provided to the rear of the site away from the public realm view. Parking areas and pedestrian access to these areas shall not exceed 25 percent of the build-to line frontage on any block. Street frontage vehicular access to off-street parking facilities shall be prohibited (see discussion of off-street parking entrances below).
2. **Uses Within Parking Structures Along Street Frontages:** Retail uses shall be provided on the ground floor of any parking structure with street front-

See Map 11: Illustrative West Hyattsville TDDP/TDOZ Parking Plan

age within commercial mixed-use blocks as identified in the West Hyattsville TDDP. Retail spaces on the ground floor shall have display windows, canopies/awnings, and recessed entrance doors to enhance the parking structure. Parking structures on corner lots shall provide ground-floor retail uses within the parking structure along both the front and side streets.

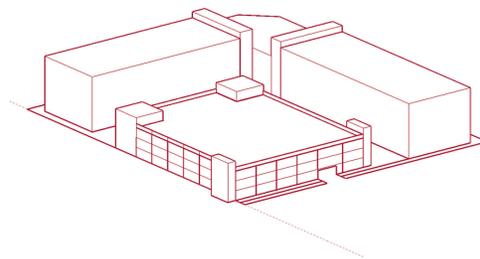
See Map 11: Illustrative West Hyattsville TDDP/TDOZ Parking Plan

- 3. Façade Treatments for Parking Structures:** Parking structure façades that are visible to the public realm shall consist of high-quality material such as brick, brick with concrete banding, brick with glass block banding, or other material as specified in the permitted materials list above. All parking structure exteriors shall be architecturally designed to integrate and be compatible with adjacent building materials. Parking structures on corner lots shall provide street-frontage quality architectural façades along both the front and side streets.



- 4. Parking Structure Fenestration:** Parking structure openings shall provide a minimum of 75 percent transparency to provide visibility for pedestrian safety. Ground floor building façade fenestration shall be 75 percent of each building façade along its street frontage. Blank wall façades shall not exceed 25 percent of any street frontage in accordance with the approved West Hyattsville TDDP conceptual site plan.

- 5. Parking Structure Height:** Structured parking shall be from a minimum of two stories to a maximum of five stories. Parking garages shall not exceed the height of the surrounding buildings and shall not visually dominate the block where visible from the street or other public space.



6. **Siting of Parking Structures With Street Frontage:**

All parking structures with street frontage shall be located at the build-to lines that shall be sited zero feet from the sidewalk edge to create a continuous street wall. Each applicant or the applicant's heirs, successors, and/or assignees, shall be responsible for parking structure improvements as delineated in the West Hyattsville TDDP. Parking garages shall be located within the interior of a block, surrounded by buildings that front the street except where otherwise delineated in the West Hyattsville TDDP. Parking structures on corner lots shall meet the build-to lines along both the front and side streets.

7. **Parking Structure Entrances and Exits (Single-Family Residential):**

Parking structure entrances and exits within single-family residential areas shall not be more than 80 square feet in area, and there shall not be more than one garage door for each 16 feet of building frontage. All townhouse and live/work unit garages shall be tuck-under. Access to parking garages from the street frontage shall be prohibited. Parking access shall consist of a single location point for entry/exit purposes to minimize curb cuts.

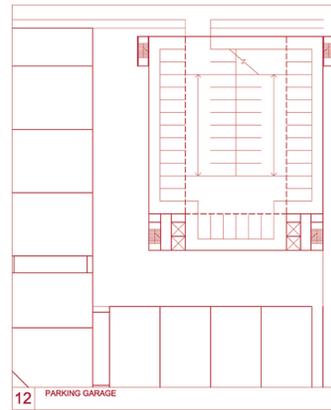
8. **Parking Structure Entrances and Exits (Multi-family/Nonresidential):**

Parking structure entrances and exits within multifamily residential or nonresidential areas shall not exceed 16 feet clear height and 24 feet clear width and shall not be sited within 100 feet of the block corner or another garage entry on the same block. Garage entry portals may be set back up to 24 inches behind the surrounding façade. Parking access shall consist of a single location point for entry/exit purposes to minimize curb cuts. Vehicle access from the street frontage shall be prohibited.

9. **Parking Structure Stairwells:**

Parking structure stairwells shall provide up-lighting with a minimum of 2.0 foot-candles and a maximum of 5.0 foot-candles. Glass façades shall be provided for high visibility and openness to enhance pedestrian safety. Steps shall provide open riser construction to increase visibility for pedestrian security.

See Map 11: Illustrative West Hyattsville TDDP/TDOZ Parking Plan



10. **Parking Structure Elevators:**

Parking structure elevators shall be lighted to a minimum of five foot-candles at the entrance to the elevator car door in accordance with the ADA standards. Elevators shall be constructed of glass walls to provide an open view to provide pedestrian safety and enhanced visibility.

11. **Parking Structure Lighting:** Lighting for all multifamily and nonresidential parking structures shall provide up-light fixtures and shall meet foot-candle requirements as specified below:
- One-way pendant uplight fixture, 30- to 72-inch stems, recessed “J” box-style hung from parking structure ceiling
 - Two-way pendant uplight fixture, 30- to 72-inch stems, recessed “J” box-style hung from parking structure ceiling
 - Perimeter or core uplight wall fixture
 - 250W metal halide
 - 10-foot 6-inch parking structure ceiling
 - Reflectance: 80 percent ceiling (shall use matte white paint), 40 percent deck (concrete construction), and 0 percent walls

Horizontal foot-candle requirements on deck: (See foot-candle chart below)

Horizontal Foot-Candles on Deck	
Luminaries	Min. 7 Max. 41
Columns	Min. 7 Max. 30
Average	17.0
Avg/Min.	2.4 : 1
Max/Min.	5.9 : 1
Vertical Foot-Candles 5 1/2 feet Above Deck	
Across Bay	Min. 5 Max. 20
Along Columns	Min. 16 Max. 24



Uplighting on structure ceiling



Reflectance: 80 percent ceiling and 40 percent deck.



Elimination of sky glow and illumination of dark areas within structure.

All photos (above), and the Photometric chart (left), are courtesy of Elliptipar Lighting.

BIKEWAYS AND BICYCLE PARKING

Intent

To regulate the design and location of bicycle parking facilities to provide convenient access to adjoining uses without compromising pedestrian/bicyclist safety and the quality of the streetscape environment.

Materials:

All bikeways (on- and off-street) and bicycle parking areas shall be coordinated with the Department of Public Works and Transportation and/or State Highway Administration as appropriate.

See TDDP Circulation Plan on Map 8 and the Streetscape Sections in Building Envelope and Block Standards

Configurations and Techniques

1. **Bikeway Classification:** Bikeway access along streets shall be located in accordance with the TDDP circulation plan. Bikeway access shall incorporate all of the following design criteria:
 - a. ***On-Street Bikeway Access (Class III)***
 - Vertical clearance for bike access shall be six feet minimum.
 - Bike lane shall be six feet wide minimum.
 - Identification consisting of mounted signage, striped lane, and bike symbol painted along the on-street pathway.
 - b. ***Off-Street Bikeway Access (Class I)***
 - Vertical clearance for bike path shall be ten feet minimum.
 - Horizontal clearance for bike path shall be six feet minimum.
 - Surface shall be asphalt, concrete, gravel, or wood chip material as approved by M-NCPPC, with a compacted subgrade.
 - Nonskid boardwalks shall be provided if wetland construction is necessary for bike path with a minimum of 100 square feet of trailhead area at intersections with side-



walks (a trail map sign shall be provided at each such location).

2. **Bicycle Space Required Number:** Minimum number of required bicycle parking spaces shall be the following:

- 1 space/20 off-street vehicular parking spaces per dwelling unit (multifamily residential uses)
- 2 spaces/10 required vehicular spaces or 20 minimum (transit station)
- 2 spaces/10 required vehicular spaces or 10 minimum (community center)
- 1 space/5,000 square feet park space (neighborhood/pocket park)
- 1 space/20 off-street vehicular parking spaces (office, nonvehicle retail services)
- 1 space/20 off-street vehicular parking spaces (entertainment)
- 1 space/20 off-street vehicular parking spaces (quick vehicle service)

Single-family townhomes and live/work units shall be exempt from all bicycle parking requirements.

3. **Bicycle Space Dimensions:** Bicycle spaces shall be a minimum of six feet long and 2.5 feet wide, and shall provide an overhead minimum clearance of seven feet in covered spaces. A minimum five-foot-wide clear aisle shall be provided between each row of bicycle parking.

4. **Bicycle Parking Locations:** Bicycle parking shall be located proportionally at each public entrance within a development.

- a. **Parking Structures:** Required bicycle parking within a structure shall be located in or near main entrances or elevators to provide for pedestrian safety, visibility, and security of property.
- b. **On Site:** Bicycle parking (not located within a parking structure) shall be located on site within 50 feet of main building entrances. Bicycle parking shall not obstruct walkways.



- c. **Right-of-Way:** Bicycle parking may be located in the public right-of-way with the approval of the Maryland State Highway Administration, Prince George’s County Department of Public Works and Transportation, and the City of Hyattsville.
- d. **Building:** Bicycle parking may be located within a building, but the location shall be easily accessible for bicyclists.

5. **Bike Parking Security:**

- a. **Bicycle Racks:** Secure stationary racks shall be provided that are anchored/bolted to the ground for security of bicycle property.
- b. **Bicycle Locker:** Lockable enclosures shall be provided for the storage of bicycles for security of bicycle property.



- 6. **Bike Parking Access:** Bicycle parking shall have direct access to the public right-of-way.

Maximum Parking Ratios for Land Uses Within the West Hyattsville Transit District Overlay Zone		
Land Use/Character Area	Within ¼ Mile of West Hyattsville Metro Station	More Than ¼ Mile From West Hyattsville Metro Station
Retail/Commercial	2.00 spaces/1,000 sq. ft.	2.75 spaces/1,000 sq. ft.
Mixed Use/Ground Fl. Retail – Office Above	1.6 spaces/1,000 sq. ft.	2.25 spaces/1,000 sq. ft.
Mixed Use/Ground Fl. Retail – Residential Above	1.6 spaces/1,000 sq. ft. 1.6 spaces/residential unit	2.25 spaces/1,000 sq. ft. 1.6 spaces/residential unit
Mixed Use/Ground Fl. Retail – Office or Residential Above	1.66 spaces/1,000 sq. ft. 1.6 spaces/residential unit	2.25 spaces/1,000 sq. ft. 1.6 spaces/residential unit
Condominium/Apartment Residential	1.5 spaces/residential unit	2.0 spaces/residential unit
Residential Townhomes	2.0 spaces/unit	2.0 spaces/unit
Live/Work Residential	2.0 spaces/unit	2.0 spaces/unit
Greenway: Parks & Open Space	0.50 spaces/acre 40 spaces/ball field	1.0 space/acre 40 spaces/ball field