

West Hyattsville



BUILDING ENVELOPE AND BLOCK STANDARDS

GENERAL DESIGN PRINCIPLES AND INTENT

Intent

The TDDP identifies the building envelope standards for all building sites within the West Hyattsville Transit District. The intent of the building envelope standards is to create a vital public realm through well-designed street space. Deviations from the building envelope standards can be reviewed through the appropriate process as outlined in the Transit District Development Plan (Applicability of Site Plan Requirements). The building envelope standards set the specifications for building sites along street, siting, elements, and use.

1. Buildings shall be aligned and close to the street.
2. Buildings shall be consistent forms on both sides of the street and shall provide public space between the buildings fronting the street.
3. Buildings shall front the street and square and provide ground level retail uses to provide an active, vital, and safe pedestrian public space.
4. Buildings shall define the property lines. Public and private space shall be clearly defined as public with open views and surveillance, or private and protected.
5. Buildings shall be designed to orient views towards the street and public realm.
6. Buildings shall provide retail on all ground floor elevations to provide an active and interesting pedestrian street life. Community-serving financial (e.g.,

commercial bank or savings and loan branch) or professional (medical, tax preparation, insurance) service establishments may be allowed in ground-floor space provided that such uses have a primary entrance on the street.

7. Building vehicle storage and service areas for garbage and mechanical equipment shall be located away from the street.

8. Building parking areas (off-street) shall be located away from the street and shared by multiple owners/uses.

9. Commercial and mixed-use blocks shall contain a minimum of 80 percent commercial uses on the ground floor

BUILDING STREET TYPES

Intent

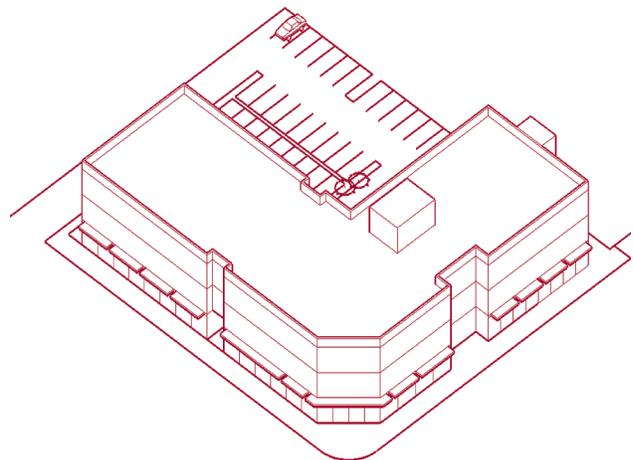
The TDDP identifies the building street type for all streets within the West Hyattsville Transit District. The building street types are provided to regulate building height requirements, parking structure height, ground story height, upper story height, and transitions in height for the specific street types of **Boulevard** (Ager, Chillum, and Queens Chapel Roads), **Main Street** (Hamilton Street), **Park Drive**, **Residential Street**, **LID Street**, **Local Access Street**, and **Alley**. Deviations from the building street type requirements shall be reviewed through the appropriate process as outlined in the Transit District Development Plan (Applicability of Site Plan Requirements).

Boulevard (Ager, Chillum, and Queens Chapel Roads)

Height Specifications

1. **Building Height:** Principal building height is measured in stories. All buildings shall be a minimum of three stories and a maximum of six stories in height, except where otherwise noted in the TDDP.
2. **Parking Structure Height and Block Coverage:** No parking structure within the block shall exceed the eave height within 40 feet of the parking structure. Any parking area fronting the build-to line shall provide a three-foot-high solid masonry wall to screen vehicles. No block shall have more than 25 percent of its street frontage occupied by screened parking. Unscreened parking shall be prohibited.
3. **Transition in Building Height:** Where a Boulevard Street type is within 40 feet of a single-family home, the maximum height shall not exceed 32 feet to the eaves or parapet.

Perspective View

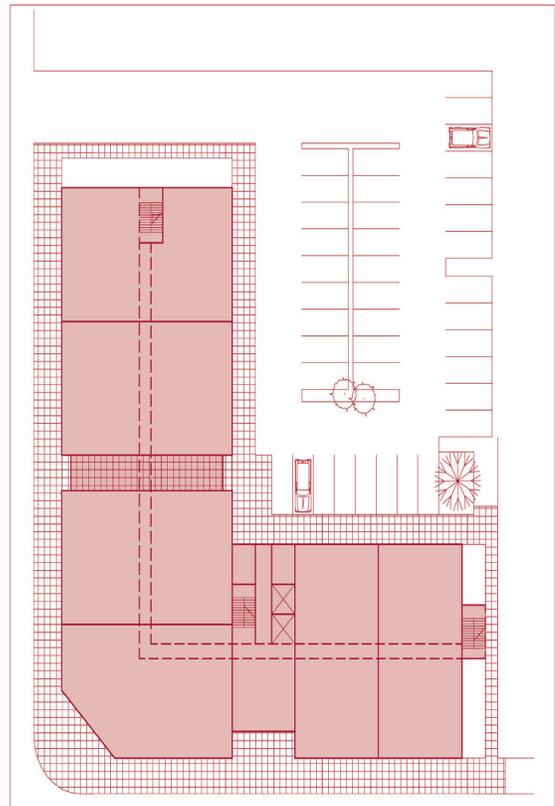


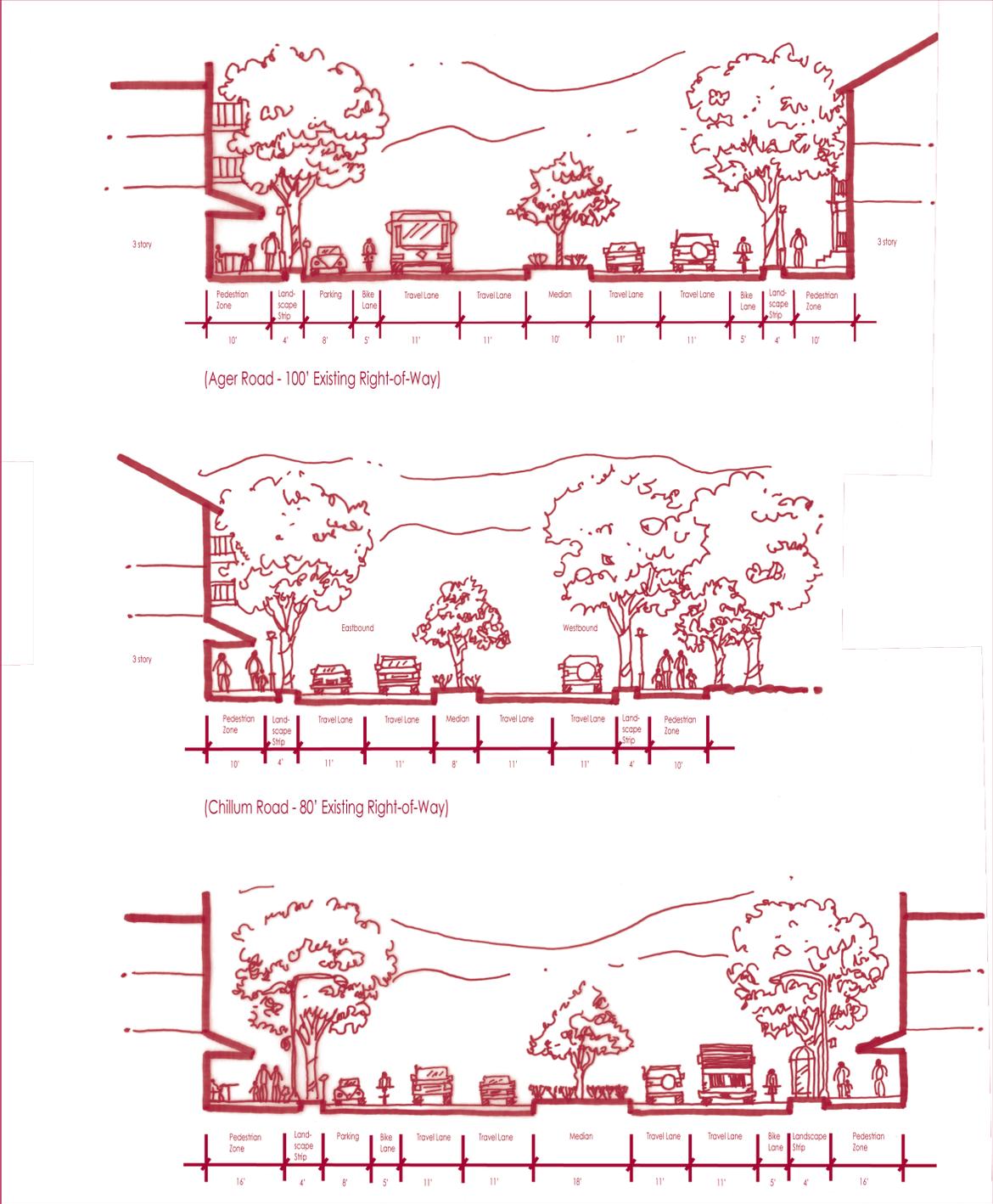
Siting Specifications

1. **Build-To Line:** The façades of all buildings shall be constructed at the build-to line (or sidewalk edge) for at least 75 percent of the street frontage of each block with the following exception: Block corners are exempt from the build-to line requirement if a special pedestrian-oriented building corner treatment is provided. The street façade shall be a single plane, limited to façade jogs of less than 24 inches, interrupted only by porches, stoops, bay windows, shop fronts, and balconies.
2. **Maximum Block Length:** Block lengths shall be a maximum of 400 feet in length; refer to the TDDP block registration plan (Map 13).
3. **Lot Coverage:** Building shall only occupy the lot area delineated in the siting specifications and shall be in accordance with the West Hyattsville TDDP. All buildings are required to be located at the build-to line and shall be located zero feet from the sidewalk edge. The sidewalk location and width shall be in accordance with the applicable streetscape sections and roadway segments of the TDDP and shall be delineated on the detailed site plan. The minimum open contiguous area shall comprise a minimum 15 percent of the total buildable area and can be located anywhere within the buildable area of the site.
4. **Side Yard Line:** Building side lot lines have no required setback unless shared with an existing single-family house where an eight-foot setback shall be provided.
5. **Rear Yard Line:** On sites with no alley access, there shall be a 25-foot setback from the rear yard line.

*See TDDP Streetscape, Architecture,
and Parking Standards*

Plan View





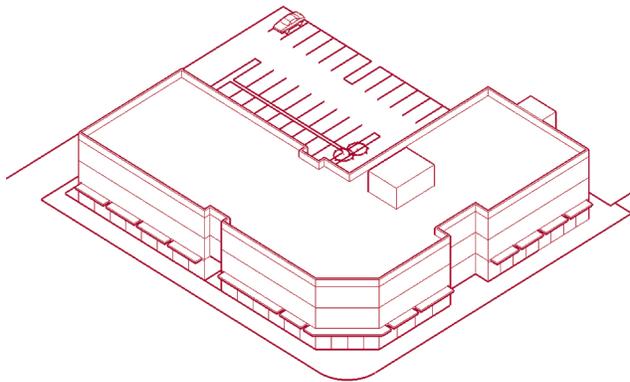
Boulevard (Ager, Chillum, and Queens Chapel Roads) Street Sections

Main Street (Hamilton Street)

Height Specifications

1. **Building Height:** Principal building height is measured in stories. All buildings shall be a minimum of three stories and a maximum of six stories in height, except where otherwise noted in the TDDP.
2. **Parking Structure Height and Block Coverage:** No parking structure within the block shall exceed the eave height within 40 feet of the parking structure. Any parking area fronting the build-to line shall provide a three-foot-high solid masonry wall to screen vehicles. No block shall have more than 25 percent of its street frontage occupied by screened parking. Unscreened parking shall be prohibited.
3. **Transition in Building Height:** Where a main street type is within 40 feet of a single-family home, the maximum height shall not exceed 32 feet to the eaves or parapet.

Perspective View



Siting Specifications

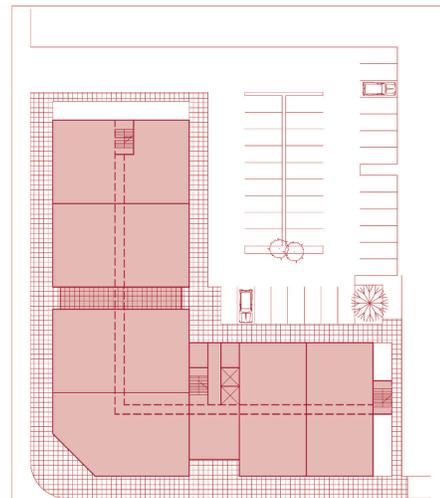
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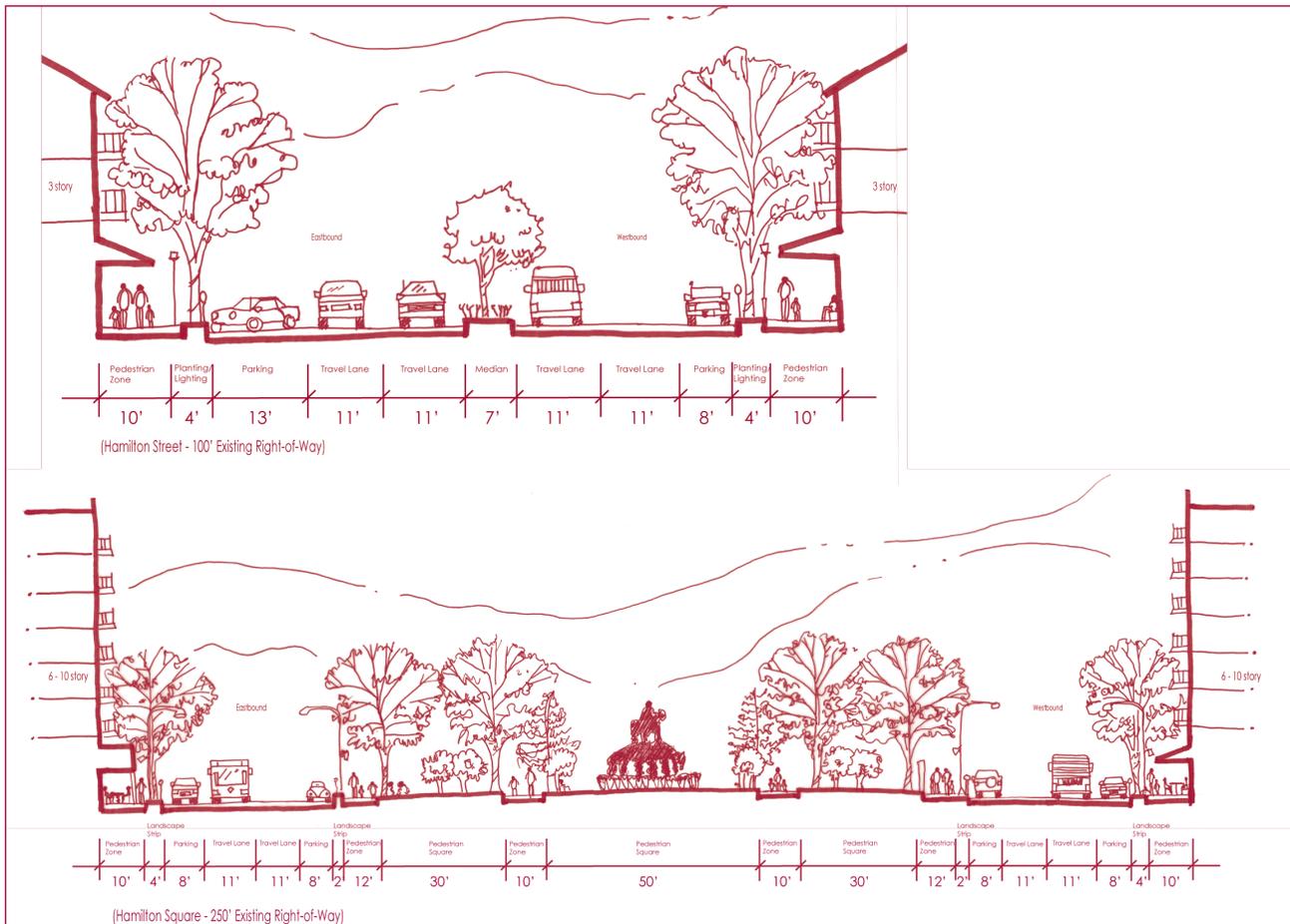
only by porches, stoops, bay windows, shop fronts, and balconies.

2. **Maximum Block Length:** Block lengths shall be a maximum of 400 feet in length; refer to the TDDP block registration plan (Map 13).
3. **Lot Coverage:** Building shall only occupy the lot area delineated in the siting specifications and shall be in accordance with the West Hyattsville TDDP. All buildings are required to be located at the build-to line and shall be located zero feet from the sidewalk edge. The sidewalk location and width shall be in accordance with the applicable streetscape sections and roadway segments of the TDDP and shall be delineated on the detailed site plan. The minimum open contiguous area shall comprise a minimum 15 percent of the total buildable area and can be located anywhere within the buildable area of the site.
4. **Side Yard Line:** Building side lot lines have no required setback unless shared with an existing single-family house where an eight-foot setback shall be provided.
5. **Rear Yard Line:** On sites with no alley access, there shall be a 25-foot setback from the rear yard line.

See TDDP Streetscape, Architecture, and Parking Standards

Plan View





Main Street Street Section

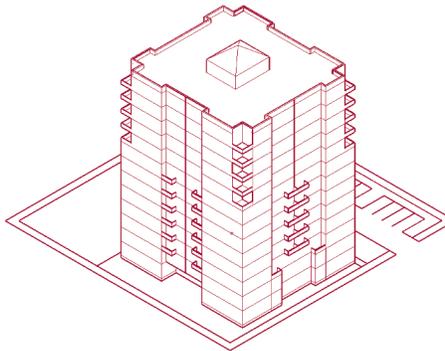
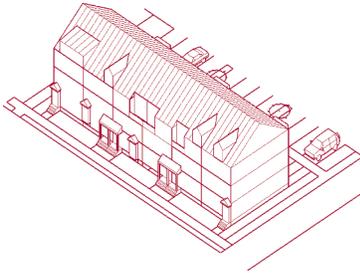
Park Drive

Height Specifications

1. **Building Height:** Principal building height is measured in stories. All buildings shall be a minimum of three stories and a maximum of four stories in height, except where otherwise noted in the TDDP. Residential point towers are permitted on development blocks S, X, and CC (see Map 13). These buildings shall be a minimum of 10 stories and a maximum of 12 stories in height. Mid-rise condominium buildings are permitted in development block EE (see Map 13). These buildings shall be a minimum of four stories and a maximum of six stories in height.

- 2. **Parking Structure Height and Block Coverage:** No parking structure within the block shall exceed the eave height within 40 feet of the parking structure. Any parking area fronting the build-to line shall provide a three-foot-high solid masonry wall to screen vehicles. No block shall have more than 25 percent of its street frontage occupied by screened parking. Unscreened parking shall be prohibited.
- 3. **Transition in Building Height:** Where a Park Drive street type is within 40 feet of a single-family home, the maximum height shall not exceed 32 feet to the eaves or parapet.

Perspective View



Siting Specifications

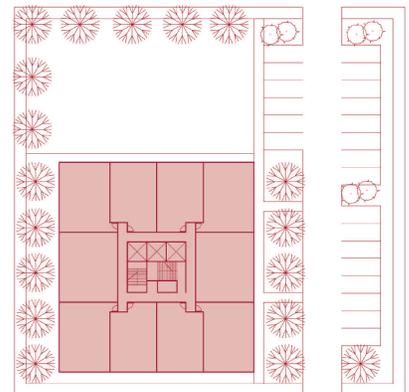
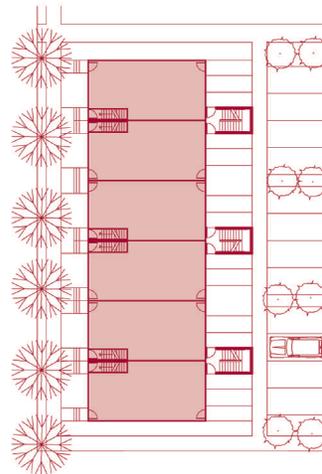
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2. **Maximum Block Length:** Block lengths shall be a maximum of 400 feet in length; refer to the TDDP block registration plan (Map 13).
3. **Lot Coverage:** Building shall only occupy the lot area delineated in the siting specifications and shall be in accordance with the West Hyattsville TDDP. All single-family residential buildings are required to be located two feet back from the build-to line to provide additional room for a front porch as stated below in the element specifications. The sidewalk location and width shall be in accordance with the applicable streetscape sections and roadway segments of

the TDDP and shall be delineated on the detailed site plan.

4. **Side Yard Line:** Building side lot lines have no required setback unless shared with an existing single-family house where an eight-foot setback shall be provided.
5. **Rear Yard Line:** On sites with no alley access, there shall be a 25-foot setback from the rear yard line.

See TDDP Streetscape, Architecture, and Parking Standards

Plan View





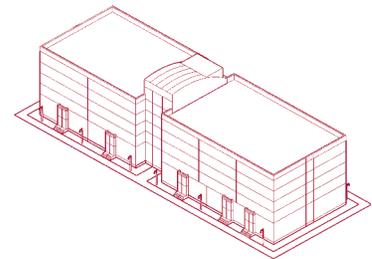
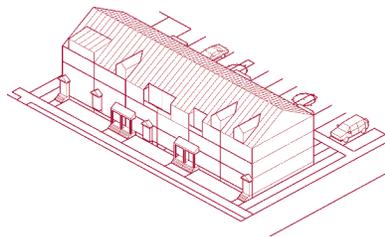
Park Drive (65-Foot Proposed Right-of-Way) Street Section

Residential Street

Height Specifications

1. **Building Height:** Principal building height is measured in stories. All buildings shall be a minimum of four stories and a maximum of six stories in height, except where otherwise noted in the TDDP. No accessory building shall be more than 18 feet to its eaves.
2. **Parking Structure Height and Block Coverage:** No parking structure within the block shall exceed the eave height within 40 feet of the parking structure. Any parking area fronting the build-to line shall provide a three-foot-high solid masonry wall to screen vehicles. No block shall have more than 25 percent of its street frontage occupied by screened parking. Unscreened parking shall be prohibited.

Perspective View

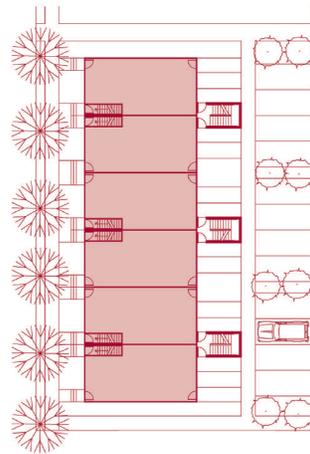


Siting Specifications

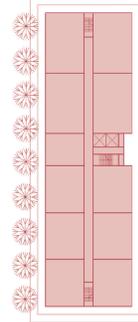
See TDDP Streetscape, Architecture, and Parking Standards

1. **Building Street Façade:** The façades of all buildings shall be constructed at the build-to line (or sidewalk edge) for at least 75 percent of the street frontage of each block with the following exception: Block corners are exempt from the build-to line requirement if a special pedestrian-oriented building corner treatment is provided. The street façade shall be a single plane, limited to façade jogs of less than 24 inches, interrupted only by porches, stoops, bay windows, shop fronts, and balconies.
2. **Maximum Block Length:** Block lengths shall be a maximum of 400 feet in length; refer to the TDDP block registration plan (Map 13).
3. **Buildable Area:** Building shall only occupy the lot area delineated in the siting specifications and shall be in accordance with the West Hyattsville TDDP. All single-family residential buildings are required to be located two feet back from the build-to line to provide additional room for a front porch as stated below in the element specifications. The sidewalk location and width shall be in accordance with the applicable streetscape sections and roadway segments of the TDDP and shall be delineated on the detailed site plan.
4. **Side Yard Line:** The minimum side setback is five feet.
5. **Rear Yard Line:** On sites with no alley access, there shall be a 12-foot setback from the rear yard line.

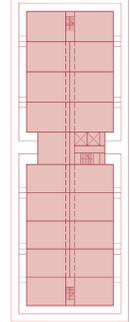
Plan View

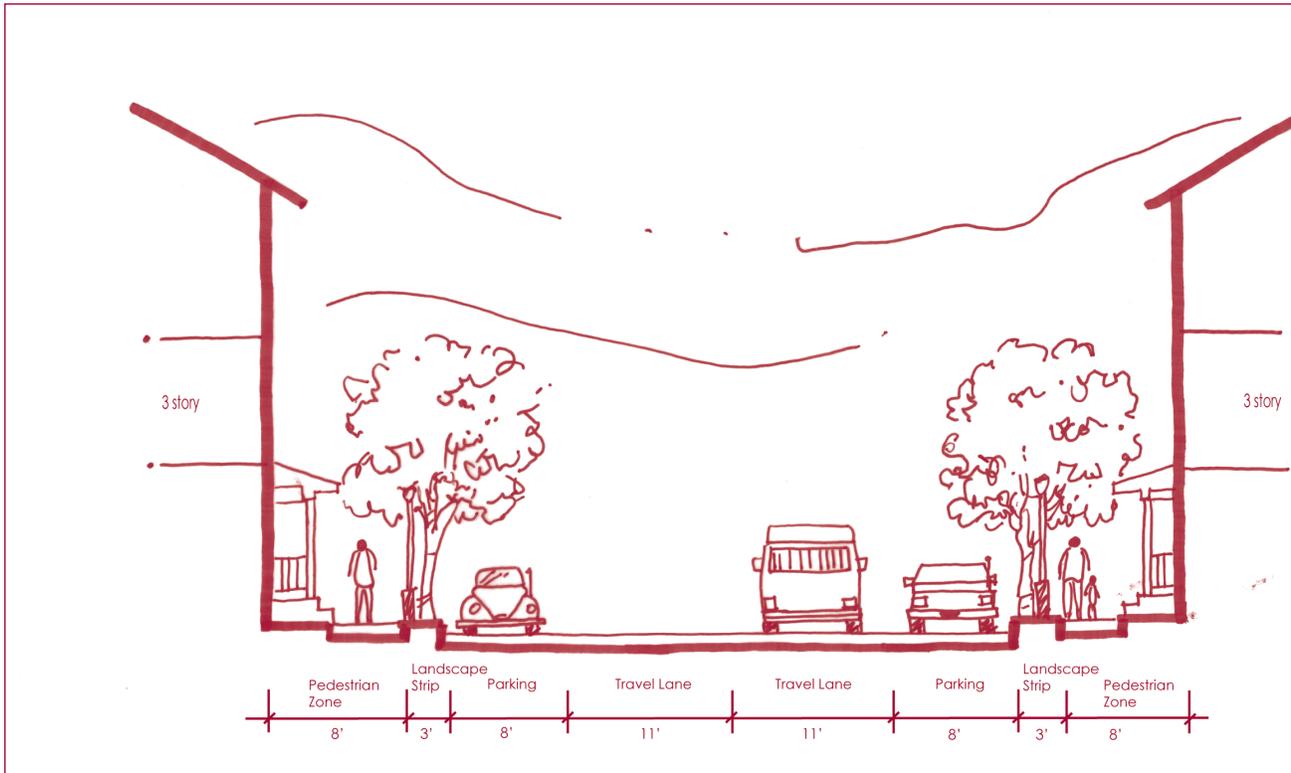


Ground Floor Plan



Second/Upper Floor Plan





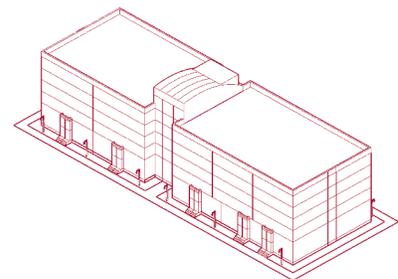
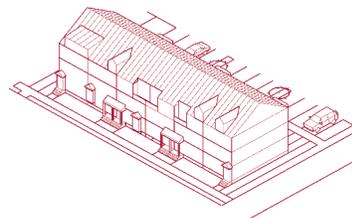
Residential (Proposed 60-foot Right-of-Way) Street Section

LID Street

Height Specifications

1. **Building Height:** Principal building height is measured in stories. All buildings shall be a minimum of three stories and a maximum of six stories in height, except where otherwise noted in the TDDP. No accessory building shall be more than 18 feet to its eaves.
2. **Parking Structure Height and Block Coverage:** No parking structure within the block shall exceed the eave height within 40 feet of the parking structure. Any parking area fronting the build-to line shall provide a three-foot-high solid masonry wall to screen vehicles. No block shall have more than 25 percent of its street frontage occupied by screened parking. Unscreened parking shall be prohibited.

Perspective View

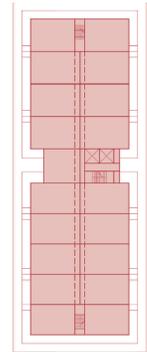
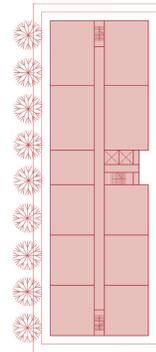
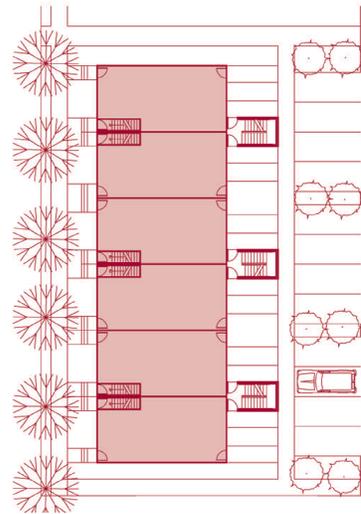


Siting Specifications

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5. **Rear Yard Line:** On sites with no alley access, there shall be a 12-foot setback from the rear yard line.

See TDDP Streetscape, Architecture, and Parking Standards

Plan View





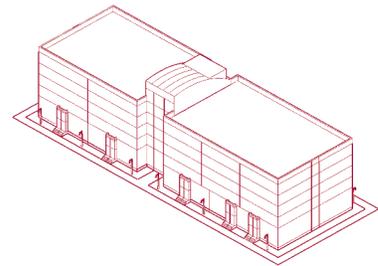
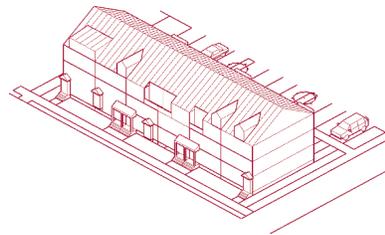
Low-Impact Development (LID-Proposed 108-foot Right-of-Way) Street Section

Local Access Street and Alley

Height Specifications

1. **Building Height:** Principal building height is measured in stories. All buildings shall be a minimum of four stories and a maximum of six stories in height, except where otherwise noted in the TDDP. No accessory building shall be more than 18 feet to its eaves.
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Perspective View

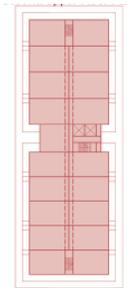
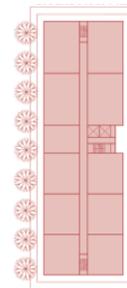
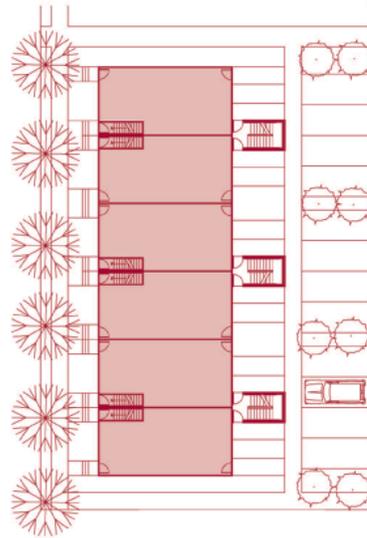


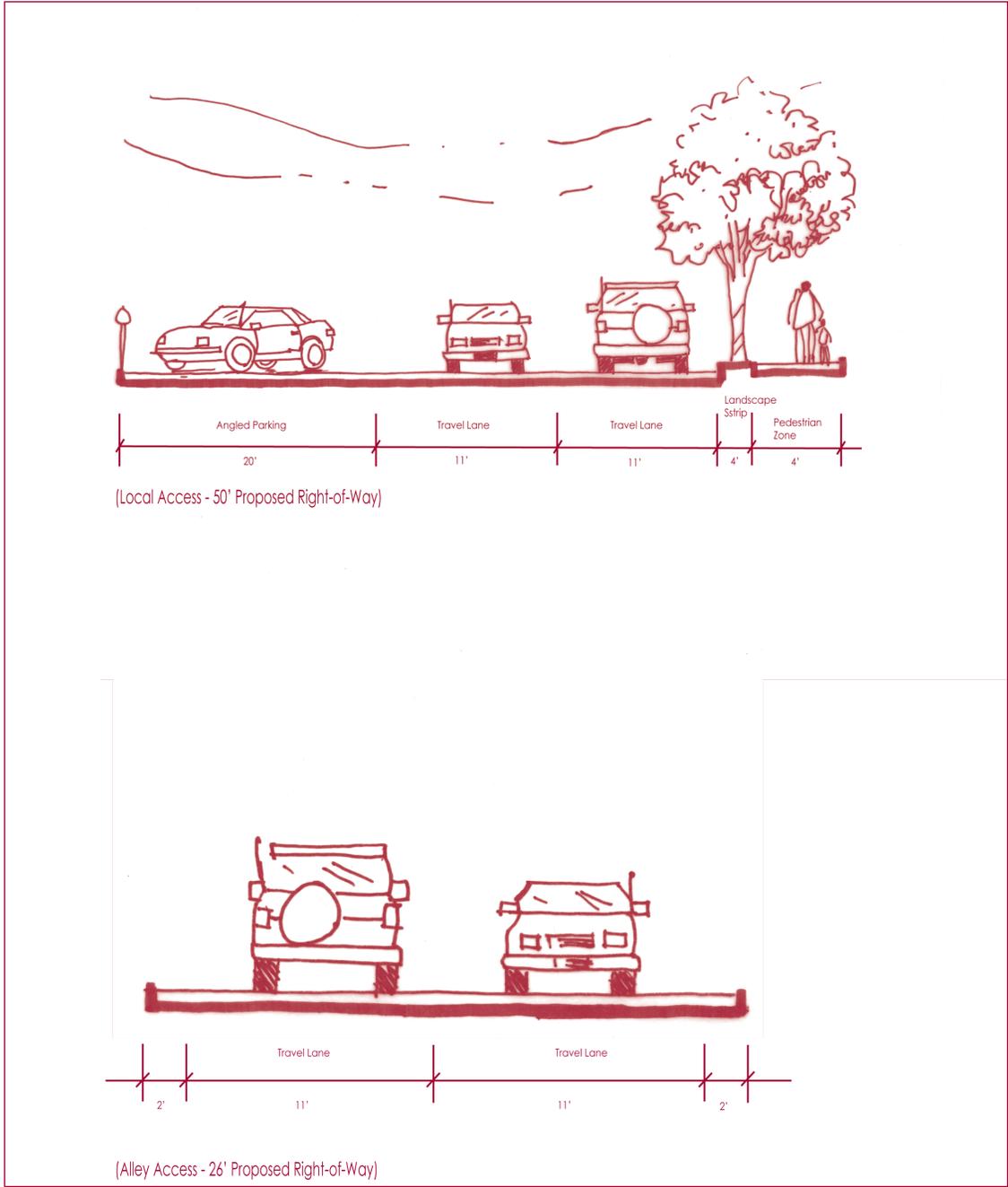
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4. **Side Yard Line:** The minimum side setback is five feet.
5. **Rear Yard Line:** On sites with no alley access, there shall be a 12-foot setback from the rear yard line.

See TDDP Streetscape, Architecture, and Parking Standards

Plan View





Local Access and Alley Access Street Section